

D1 ZONING - CENTRAL CAMPUS

417 E Liberty St, Ann Arbor, MI 48104



Listing ID: 30148116
Status: Active
Property Type: Retail-Commercial For Lease
Retail-Commercial Type: Street Retail, Vehicle Related
Contiguous Space: 7,680 SF
Total Available: 7,680 SF
Lease Rate: \$65.10 PSF (Annual)
Base Monthly Rent: \$41,663
Lease Type: Ground Lease

Overview/Comments

One of the last student high-rise opportunities in downtown Ann Arbor. Located between South State Street and Main Street, close to central campus of the University of Michigan.

The zoning at this location is Central Business District with a D1 overlay. This is the highest and best zoning in the downtown area. According to the zoning, you can build 400% of the lot area without Premiums, 700% of the lot area with Premiums or 900% of lot area with affordable housing premiums. Given the D1 Overlay, a developer could build a 55,000 sq.ft. building, with Premiums.

Ground Lessee/Developer to pay all commissions and attorney fees. Contact Listing Agent for detail on commission.



More Information Online

<http://www.cpix.net/listing/30148116>

QR Code

Scan this image with your mobile device:



General Information

Taxing Authority: City of Ann Arbor
Tax ID/APN: 09-09-29-108-004
Retail-Commercial Type: Street Retail, Vehicle Related, Other
Zoning: D-1

Gross Building Area: 55,000 SF
Building/Unit Size (RSF): 55,000 SF
Land Area: 0.18 Acres

Available Space

Suite/Unit Number: 417
Suite Floor/Level: 1st Floor
Space Available: 7,680 SF

Minimum Divisible: 7,680 SF
Maximum Contiguous: 7,680 SF

Space Description:	Ground lease is based on the existing footprint of the existing building.	Lease Type:	Ground Lease
Space Type:	New	Parking Spaces:	0
Date Available:	01/01/2018	Rent Escalators Description:	Ground lease is increased by five (5%) percent every five years. Fifty year minimum on the ground lease.
Lease Term (Months):	600 Months		
Lease Rate:	\$65.10 PSF (Annual)		

Area & Location

Retail Clientele:	General, Family, Business, Traveler, Tourist
Property Located Between:	South Division and South State Street
Property Visibility:	Excellent

Building Related

Tenancy:	Multiple Tenants
Passenger Elevators:	0
Freight Elevators:	0

Land Related

Zoning Description - D1 and D2 downtown districts. (1) Intent. These districts, in coordination with the downtown character overlay zoning districts, are designed to support the downtown as the city's traditional center. The downtown serves both the region and local residents as a place to live, work, and take advantage of civic, cultural, educational, shopping, and entertainment opportunities. The downtown districts are intended to allow a mixture of land uses, dense urban development, pedestrian orientation, unique residential opportunities, and a compatible and attractive mix of historic and contemporary building design. Development in these districts is designed to be accessible by a variety of modes of transportation. (a) D1 - Downtown Core District. This district is intended to contain the downtown's greatest concentration of development and serves as a focus for intensive pedestrian use. This district is appropriate for high-density mixed residential, office and commercial development. (b) D2 - Downtown Interface District. This district is intended to be an area of transition between the Core and surrounding residential neighborhoods. This district is appropriate for medium density residential and mixed-use development.

Location

Address:	417 E Liberty St, Ann Arbor, MI 48104	MSA:	Ann Arbor
County:	Washtenaw	Submarket:	Washtenaw W of 23



Property Contacts



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5:10.19. - D1 and D2 downtown districts.

- (1) Intent. These districts, in coordination with the downtown character overlay zoning districts, are designed to support the downtown as the city's traditional center. The downtown serves both the region and local residents as a place to live, work, and take advantage of civic, cultural, educational, shopping, and entertainment opportunities. The downtown districts are intended to allow a mixture of land uses, dense urban development, pedestrian orientation, unique residential opportunities, and a compatible and attractive mix of historic and contemporary building design. Development in these districts is designed to be accessible by a variety of modes of transportation.
- (a) D1 - Downtown Core District. This district is intended to contain the downtown's greatest concentration of development and serves as a focus for intensive pedestrian use. This district is appropriate for high-density mixed residential, office and commercial development.
- (b) D2 - Downtown Interface District. This district is intended to be an area of transition between the Core and surrounding residential neighborhoods. This district is appropriate for medium density residential and mixed-use development.
- (2) Uses of land.
- (a) Uses in the D1 and D2 districts are allowed in accordance with Table 5:10.19A - Schedule of Uses. The following key is to be used with the Schedule of Uses:
1. Permitted uses. In accordance with section 5:6, these uses are permitted by right in the district. These uses may be mixed within a building, unless otherwise specified in this chapter. Permitted uses are identified with a "P".
 2. Special exception uses. In accordance with sections 5:6 and 5:104, these uses may be allowed in a district subject to review and approval by the Planning Commission. Special exception uses are identified with an "S."
 3. Prohibited uses. These uses are not permitted in the district. Prohibited uses are identified with an "X."
 4. Related zoning regulations. The Schedule of Uses lists additional related zoning regulations that apply to specific uses. This list is not comprehensive and all uses must comply with all applicable laws and regulations.

Table 5:10.19A - Schedule of Uses: D1 and D2 Downtown Districts

P=Permitted S=Special Exception X=Prohibited A=Active

Use	D1 Downtown Core	D2 Downtown Interface	Related Zoning Regulations
RESIDENTIAL			
Single- or 2-family dwelling	P	P	
Multiple-family dwelling	P	P	
Fraternity, sorority or student cooperative	P	P	
Rooming or boarding house	P	P	
Emergency shelter	P	P	

Convalescent or nursing home	P	P	
LODGING			
Hotel	P	P	
Bed & breakfast	P	P	
CIVIC AND INSTITUTIONAL			
Religious assembly	P	P	
Educational services	P	P	
Day care center	P	P	
Community center	P	P	
Social or service club	P	P	
Library	P	P	
Government office	P	P	
Courthouse	P	P	
Park or plaza	P	P	
Museum	P	P	
OFFICE			
Office—General or business	P	P	
Office—Medical or dental	P	P	
Office—Veterinary	P	P	
Medical Laboratory	P	P	
COMMERCIAL			
Bank, credit union or financial services	P	P	

Retail sales	P	P	
Restaurant or bar	P	P	
Personal or business services	P	P	
Outdoor sales, permanent	P	P	<u>Section 5:10.15(2)e</u>
Outdoor sales, temporary	P	P or S	Sections <u>5:10.15(2)</u> f, g and h; <u>section</u> <u>5:104</u>
Conference center	S	X	<u>Section 5:104</u>
Theater	P	P	
Entertainment—General	P	S	<u>Section 5:104</u>
Entertainment—Adult	X	X	<u>Section 5: 50</u>
Funeral services	P	P	
Drive-through facility	S	S	<u>Section 5:104</u>
Vehicle fueling station	S	S	<u>Section 5:104</u>
Vehicle sales or rental	S	S	<u>Section 5:104</u>
Vehicle repair or storage	S	S	<u>Section 5:104</u>
Vehicle wash	S	S	<u>Section 5:104</u>
INDUSTRIAL & TRANSPORTATION			
Warehouse	X	P	
Building materials wholesale	X	P	
Construction/trade contractors	X	P	

Fabrication—Metal & canvas	X	P	Performance standards of <u>Section 5:10.24(f)</u>
Assembly or manufacturing	S	S	Performance standards of <u>section 5:10.24(f)</u> ; <u>section 5:104</u>
Printing or publishing	P	S	<u>Section 5:104</u>
Parking structure	S	S	<u>Section 5:104</u>
Parking lot—Principal use	S	S	<u>Section 5:104</u>
Transit center or station	P	P	
Wireless communications facility	S	S	<u>Section 5:6</u> ; <u>section 5:82</u> ; <u>section 5:104</u>
Broadcasting facility	P	S	<u>Section 5:104</u>
Utility substation	P	P	
Railroad	P	P	

(3) Area, height and coverage requirements.

- (a) Except as otherwise provided in this chapter, regulations governing area, height, coverage and open space in the D1 and D2 downtown districts shall comply with the requirements in Table 5:10.19B.

Table 5:10.19B. Schedule of Area, Height, Open Space and Coverage Requirements: D1 and D2 Downtown Districts						
Zoning District	Maximum Usable Floor Area in Percentage of Lot Area (FAR)	Minimum Height	Max. Building Height	Max. Building Coverage	Min. Open Space	Min. Gross Lot Size

	Normal (without Premiums)	With Premiums (Sections 5:64—5:65)	In Feet	In Stories				
D1	400% of lot area	700% of lot area 900% of lot area with affordable housing premiums	24	2		None	None	None
			(1) The minimum height requirement shall apply only to new principal use buildings constructed after the effective date of this ordinance (December 26, 2009); otherwise none. (2) The usable floor area of the second story must be a minimum of 75% of the first story usable floor area.		See Character Overlay Zoning District Massing Standards (Table 5:10.20A)			
D2	200% of lot area	400% of lot area	24	2	See Character Overlay Zoning District Massing Standards (Table 5:10.20A)	80% of lot area	10% of lot area	None

			<p>(1) The minimum height requirement shall apply only to new principal use buildings constructed after the effective date of this ordinance (December 26, 2009); otherwise none.</p> <p>(2) The usable floor area of the second story must be a minimum of 75% of the first story usable floor area.</p>				
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(b) Relationship to downtown character overlay zoning districts. The D1 and D2 downtown zoning districts shall be further regulated by the downtown character overlay zoning districts. Unless otherwise specified in this chapter, regulations identified for both the downtown district and the applicable downtown character overlay zoning district shall apply.

(4) Parking structures.

(a) In the D1 district, an off-street parking structure is not permitted at the level of the adjacent street unless separated from the street by a portion of the building that is occupied by a permitted use or uses, with the exception of the portion of a parking structure that provides vehicular or pedestrian access to the street. The permitted use(s) shall be located within the building and have a minimum depth of 25 feet from the exterior of the front wall.

1. On corner lots, this requirement shall apply to lot frontages on primary streets, as defined in section 5:10.20(4). If none of the street frontages is a primary street, an off-street parking structure must be separated from at least 1 street frontage by a portion of the building that is occupied by a permitted use, with the exception of the portion of a parking structure that provides access to the street.

(b) In the D2 district, an off-street parking structure shall be located a minimum of 10 feet from the front lot line at the level of the adjacent street and provide a landscape buffer or screening wall between the building and the front property line.

(c) In the D1 and D2 districts, any wall of an off-street parking structure that abuts a residential zoning district shall contain no openings or be separated from the lot line by a building occupied by a permitted use or uses.

(Ord. No. 6-84, 4-9-84; Ord. No. 23-92, § 1, 5-18-92; Ord. No. 2-96, § 1, 2-20-96; Ord. No. 09-28, § 6, 11-16-09)

5:10.20. - Downtown character overlay zoning districts.

- (1) Intent. The purpose of these overlay zoning districts is to supplement the regulations for zoning districts in the downtown to reflect the diversity of historical and built environments within the downtown. These character overlay zoning districts account for differences in the existing street pattern, density, massing and design features that exist throughout the downtown, in addition to the intent of the city for the future development of each area.
- (a) South University. The South University character district lies along the southeastern edge of the University of Michigan Central Campus, which separates it from the other mixed use districts of downtown. This is an area characterized by a mix of building types and sizes, with retail uses at the street level and relatively narrow lot widths. The intent for this district is to maintain a variety in scale, with design that reflects the small-scale widths and heights of buildings in the area at the streetwall and locates taller portions toward the interior of the lot. The south university D2 character district lies just outside the DDA boundaries, adjacent to nearby residential neighborhoods. The intent for this district is to maintain a variety of small-scale commercial and retail enterprises mixed with some residential uses, minimizing the impact on nearby residential streets.
 - (b) State Street. The State Street character district frames the northwest corner of the University of Michigan central campus and defines the edge of the commercial core. This area is characterized by a mixture of entertainment and retail uses with strong connections to the campus. The intent for this district is preservation of the integrity of the historic district properties and the overall historic character of the area, with design that includes features of the traditional commercial storefronts at the sidewalk's edge.
 - (c) Liberty/Division. The Liberty/Division character district is located in the core of downtown, yet retains a small-scale residential character. A significant portion of this district coincides with the East William Historic District, and for this reason, preservation of the integrity of these resources is a high priority, as is the retention of the overall sense of scale. While increased building mass can be accommodated in this district, it is the intent to maintain the traditional scale and rhythm of residential buildings.
 - (d) East Huron 1. The East Huron 1 character district is located on the north side of East Huron Street including North Fifth Avenue and South State Street, on a major transportation corridor through downtown and the address of many civic buildings, institutions and well-known landmarks of the downtown skyline. Most of its properties have free-standing buildings surrounded by open space, or have front courtyards or plazas, several of which are open to the public. There is a significant contrast between the massing and scale of the structures within this character district and the residential scale of the structures within this character district and the residential scale of the adjacent historic neighborhoods which surround the district on the north, east and west sides. East Huron 1 lies between the Old Fourth Ward, Division Street and Ann Street historic districts and a business loop. This context is its defining feature and, therefore, calls for a higher degree of sensitivity in design and massing to strike a balance between the downtown core and adjacent historic residential neighborhoods.
 - (e) East Huron 2. The East Huron 2 character district is located on the south side of East Huron Street between South Division and North State streets, on a major transportation corridor through downtown. From east to west, this block's character moves from campus-like settings with iconic, free-standing buildings surrounded by lawns seen "in the round" to historic, utilitarian commercial buildings at the sidewalk edge, matching the character district's placement between the University of Michigan Central Campus and downtown's civic core. North of this character district lies its sister character area, East Huron 1. To the south, East Huron 2 parallels an area of downtown's core that retains a small-scale residential character.
 - (f) Main Street. The Main Street character district is the traditional heart of downtown, with a regional entertainment and business focus. The center of the district contains the Main Street historic district, and preservation of these resources is a high priority. The intent for this district is design that maintains the traditional rhythm of existing storefronts along the street edge and varying parapet lines.

- (g) Midtown. The Midtown character district is framed on all sides by other downtown character districts and contains the Fifth Avenue civic corridor. At present, this district lacks a strong sense of identity and is a place where creation of a new context should occur. The intent for this district is higher density development with a strongly defined street edge and active open spaces.
 - (h) Kerrytown. The Kerrytown character district frames the north end of downtown and is characterized by a mix of small-scale commercial buildings and houses that have been adapted to different uses. The eastern part of the district is part of the Old Fourth Ward historic district, while the southeast corner of the district is located in the Fourth/Ann historic district. The intent for this district is retaining traditional existing building patterns, with lower-scale building modules and residential shapes.
 - (i) First Street. The First Street character district runs north-south along the Ann Arbor Railroad and Allen Creek floodplain. This area is characterized by oddly-shaped blocks and a mixture of commercial storefronts, industrial buildings and single-family homes. Many of these buildings are located in the Old West Side historic district, which makes up much of the character area. The intent for this district is for infill development that preserves historic buildings' assets, supports downtown activities, and provides non-motorized connections through preservation of a system of public and common open spaces. New development along the Allen Creek floodplain should be sited to provide greenspace on site and be located in such a way that it will connect with greenspace of abutting properties.
- (2) Relationship to D1 and D2 downtown districts. The downtown character overlay zoning districts shall provide additional regulations to the D1 and D2 districts. Unless otherwise specified in this chapter, regulations identified for both the downtown district and the applicable downtown character overlay zoning district shall apply.
- (3) Building massing standards.
- (a) Buildings and additions constructed after the effective date of this section (December 26, 2009) on lots zoned D1 or D2 in the downtown character overlay zoning districts shall comply with the building massing standards in Table 5:10.20A, as applicable.
 - (b) The following definitions shall apply in the application of building massing standards:
 - 1. Base: The portion of a building located between the street grade and the streetwall height (see Figure 1).

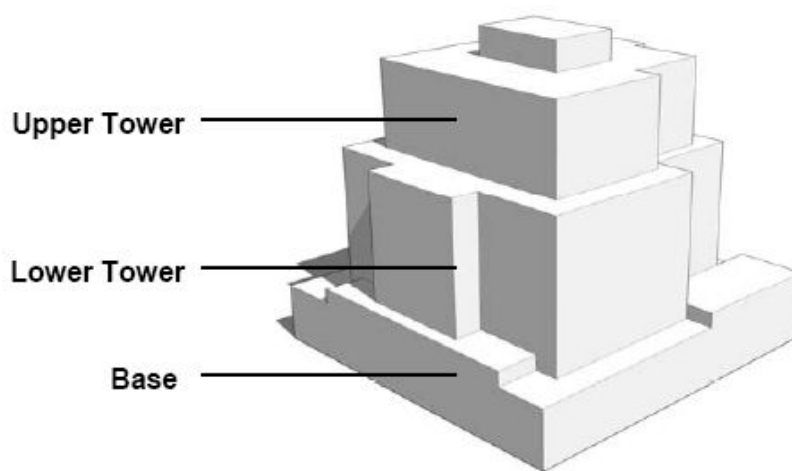


Figure 1 - Base, Lower Tower and Upper Tower

- 2. Massing articulation: The way in which a building wall surface is broken down into vertical modules, sub-parts or major elements, which are distinguished by changes in materials, texture or surface plane (see Figure 2).

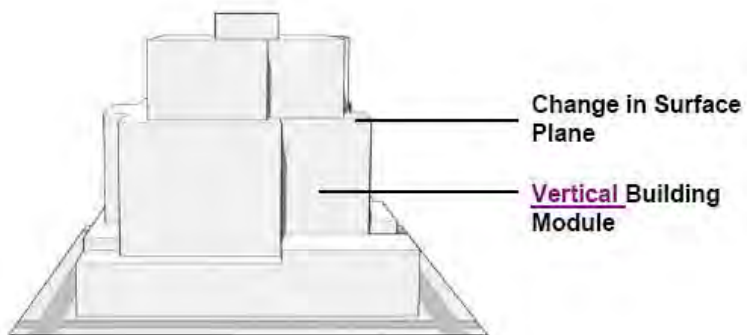


Figure 2 - Massing Articulation

3. Maximum Diagonal: The longest horizontal dimension of a building or tower, as measured from corner to corner of a story (see Figure 3).

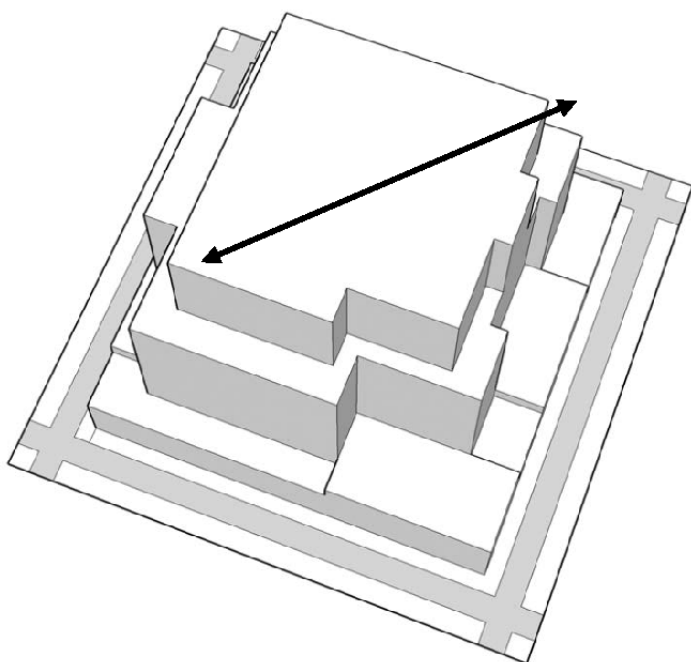


Figure 3 - Maximum Diagonal

4. Offset: The distance that the exterior wall of a tower or upper stories of a building is set back from the streetwall or the exterior wall of the base (see Figure 4). For purposes of this definition, unenclosed balconies are not considered to be part of the exterior wall of a tower.

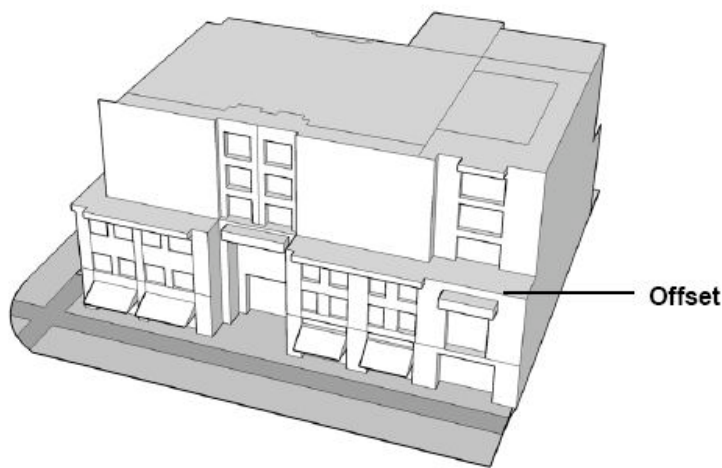


Figure 4 - Offset

5. Streetwall: The exterior face of a building that fronts a public street between the street grade and the streetwall height (see Figure 5).



Figure 5 - Streetwall and Streetwall Height

6. Streetwall height: The height of the streetwall portion of the building, as measured in stories above the street grade (see Figure 5).
7. Tower: Any portion of the building that rises above the base. Towers often include a lower tower section and an upper tower section (see Figure 1).
- (c) The minimum required offset at the top of the streetwall shall be measured from exterior face of the building at the top of the streetwall to the closest point of the exterior face of the tower. For corner parcels with a lot size of less than 5,000 square feet, no offset is required.
- (d) For purposes of applying the required average offset at the top of the streetwall, a total surface area greater than or equal to the product of the width of the building base multiplied by the required offset shall be provided between the exterior face of the building at the top of the street wall and the exterior face of the tower.

**Table 5:10.20A - Downtown Character Overlay Zoning Districts Building Massing Standards
(Additional Regulations for the D1 and D2 Districts)**

Overlay Zoning District	Streetwall Height		Offset at Top of Streetwall	Max. Building Height	Max. Building Height	Massing Articulation	Maximum Tower Diagonal	Side and Rear Setbacks
	Max. Height	Min. Height	Required Average	D1 District	D2 District	Maximum Building Module Length (Horizontal Dimension)		Minimum Distance

South University	3 stories	2 stories	5 feet	150 feet	60 feet	45 feet		For D1, a minimum 30 foot setback from a lot line abutting any R zoning district. For D2, a minimum 40 foot setback. This setback shall be measured from the rear and side exterior walls of the building to any R zoning district boundary on the same block as the building.
State Street	3 stories	2 stories	5 feet	180 feet	Not applicable	None		Not applicable

Liberty/Division	3 stories	2 stories	5 feet	180 feet	60 feet	40 feet (in D2 only)	5 foot setback from a side or rear lot line abutting any R zoning district
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East Huron 1	3 stories	2 stories	None	3 stories, except 120 feet in any area extending 150 feet from the East Huron Street property line	Not applicable	None	130 feet	For D1 and D2, the following setbacks shall be measured from any exterior walls of the building: A minimum of 30 feet to any R zoning district boundary A minimum of 10 feet to any O zoning district boundary In no case shall the required setback reduce the width or depth of a lot suitable for building to less
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								than 25 feet.
East Huron 2	4 stories	2 stories	5 feet	180 feet	Not applicable	None		Not applicable
Midtown	4 stories	2 stories	5 feet	180 feet	Not applicable	None		Not applicable
Main Street	4 stories	2 stories	5 feet	180 feet	60 feet, except 120 feet in any area extending 150 feet from the East William Street property line	None		For D1, none For D2, a minimum 30 foot setback shall be measured from the exterior walls of the building to any R zoning district boundary on the same block as the building

Kerrytown	3 stories	2 stories	5 feet	Not applicable	60 feet	40 feet	10 foot setback from a side lot line abutting any R zoning district	20 foot setback from a rear lot line abutting any R zoning district
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First Street	3 stories	2 stories	5 feet	Not applicable	60 feet	66 feet	15 foot setback from a side lot line abutting any R zoning district
							20 foot setback from a rear lot line abutting any R zoning district
							10 foot offset from a side lot line abutting any R zoning district

(4) Building frontage standards.

- (a) Intent. These building frontage designations, in coordination with the downtown character overlay zoning districts, are designed to support the pedestrian-scale character of downtown streets.
1. Primary Street: Lot frontage where placement of buildings at the front property line is desired.
 2. Secondary Street: Lot frontage where a range of building setbacks from the front property line is acceptable.
 3. Front Yard Street: Lot frontage where a setback from the front property line is desired.
- (b) Buildings and additions constructed after the effective date of this section (December 26, 2009) on lots zoned D1 or

D2 in the downtown character overlay zoning districts shall comply with the building frontage standards in Table 5:10.20B, as applicable.

Table 5:10.20B - Downtown Character Overlay Zoning Districts Building Frontage Standards (Additional Regulations for the D1 and D2 Districts)			
Designation at Right-of-Way Line	Required Front Setback		Additional Requirements and Exceptions
	Minimum	Maximum	

Primary street	0 feet	1 foot at the streetwall	<p>(1) Up to 20% of the building frontage may exceed the maximum front setback requirement for entry court or plaza area, except in the Main Street Overlay Zoning District.</p> <p>(2) The maximum front setback may be exceeded up to a maximum of 16 feet from the back of curb to allow for pedestrian circulation.</p> <p>(3) Vehicle access shall be provided from a public alley, if accessible.</p> <p>(4) Recesses and alcoves on the level of the adjacent street to accommodate</p>
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			entry ways, display windows, planters, or similar features shall not be considered as setbacks, provided the streetwall of upper stories complies with the maximum required front setback.
Secondary street	0 feet	10 feet at the streetwall	(5) Up to 20% of the building frontage may exceed the maximum front setback requirement for entry court or plaza area.

Front yard street	15 feet	None	(6) The average of the established front setback of buildings within 100 feet may be used, if less than 15 feet. (7) Unenclosed porches may encroach 8 feet into the required front open space.
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(Ord. No. 6-84, 4-9-84; Ord. No. 23-92, § 1, 5-18-92; Ord. No. 09-28, § 7, 11-16-09; Ord. No. 14-12, § 1, 1-5-15; Ord. No. 15-07, §§ 1—3, 7-20-15)

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